

**Project: (Interior Renovation)**

**Two Families Home  
18 Birch Street  
Worcester, Massachusetts**

AUGUST 16, 2023 (98% SET)  
**FOR REVIEW ONLY**

**Working Index:**

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- D-1 Description floor plans and derivation notes
- D-1.1 Description floor plans and derivation notes
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- A-2 Exterior elevations and window schedule
- A-3 Building sections and details
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**2015 IRC Code Review**

- R310 **Emergency Escape and Rescue Services.**
- R310 Provide two means of egress per dwelling.
- R310.2.1 H-25' > 24'
- H-30' > 20'
- R310.2.2 5'-0" < 44"
- R314 **Smoke Alarms.**
- R315.3 Carbon monoxide alarms in dwelling units must be installed outside of each separate sleeping area in the immediate vicinity of the bedroom.
- R315.4 Combustion carbon monoxide and smoke alarms must be permitted to be used in lieu of carbon monoxide alarms.

**TABLE M1003.3.3(1)**  
Continuous whole-house mechanical ventilation system airflow rate requirements

Ventilating Unit Floor Area (Square Feet)	Number of Bedrooms			
	0-1	2	3	4-7
< 2,500	100	100	100	100
1,500 - 3,000	75	75	75	75
3,000 - 4,500	75	100	100	100
4,500 - 6,000	100	100	100	100
6,000 - 7,500	100	100	100	100
> 7,500	100	100	100	100

**2015 IRC Code Review**

- R301.5 **Means of Egress.**  
Provide two means of egress per dwelling. (Comply)
- R310.2 **Egress Doors.**  
Primary egress door shall be minimum clear width of (32") measured between the face of the door and the stop with door open at 90 degrees. (Comply)  
  
Secondary egress door shall be minimum clear width of (28") measured between the face of the door and the stop with door open at 90 degrees. (Comply)
- R312.2 **Interior Doors.**  
All interior doors providing access to bathroom rooms shall have a minimum nominal width of 30" and nominal height of 78". (Comply)  
  
Doors providing access to bedrooms are permitted to be 28" nominal width; however, in sanitary buildings it's permit to be 24" nominal width. (Comply)
- R311.7.4.1 **Slabs.**  
Replace the phrase "3-2" with 3-2". (Comply)
- R311.7.4.2 **Rebar Transverse Spacing.** (Comply)
- R313.1 **Automatic Smoke Alarms.** (NOT APPLICABLE)
- R313.2 **Automatic Smoke Alarms.**  
One- and two-family dwelling having an aggregate area greater than 14,000 square feet shall have fire sprinkler protection. (NOT APPLICABLE)
- R314.5 **Heat Detectors.**  
Heat detectors installed in garage. (Comply)
- R315.1 **Carbon Monoxide.**  
Carbon monoxide alarm for Non Combustible and Existing dwellings shall be furnished, installed and maintained by owner. (Comply)
- R315.2 **Fire Alarms.**  
Fire alarm shall be furnished on each story of a dwelling unit, including basement and cellar. (NOT APPLICABLE)
- R315.3 **Non-Combustible.** (NOT APPLICABLE)
- R315.4 **Carbon Dioxide.**  
None. (NOT APPLICABLE)
- R322.1.1 **Seismicity.** (Comply)

PROJECT  
Interior Renovation

18 Birch Street  
Worcester, MA

Title Sheet, and Codes Review

Revisions	Date
Revision-1	
Revision-2	

Scale AS NOTED

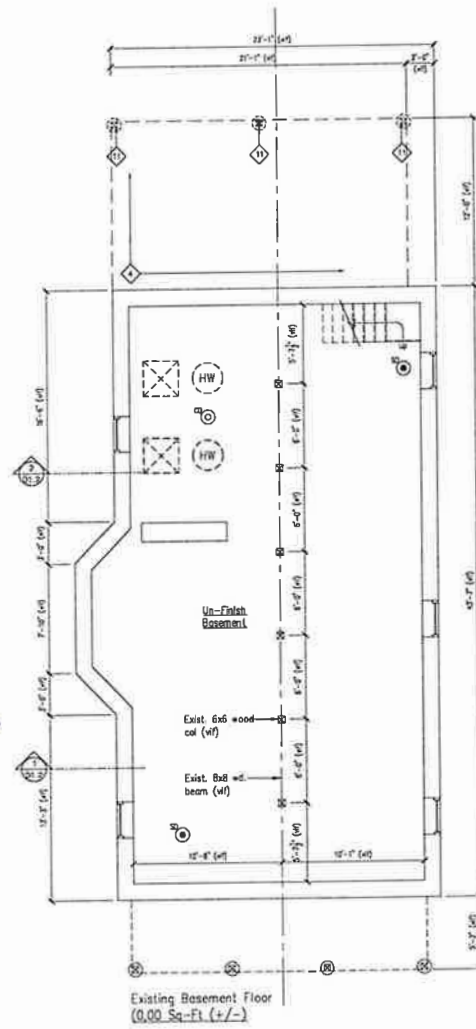
Drawn / Check by JLRBAN

Date 8/16/23

Job No. XX

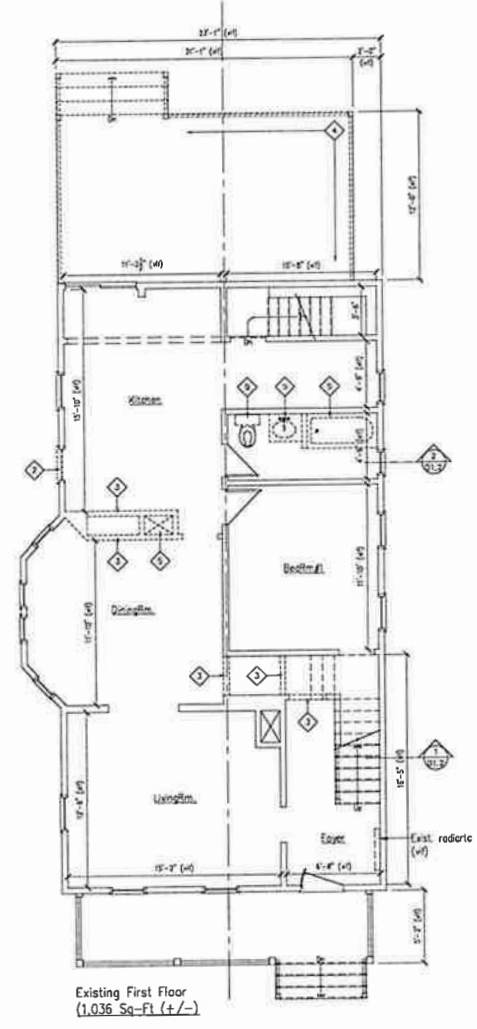
Revision	Date
Revision-1	
Revision-2	

Scale	AS NOTED
Drawn / Check by	JL/BAW
Date	07/18/23
Job No.	XX



- GENERAL DEMOLITION/ REMOVAL NOTES (TYP)**
- A- Contractor shall provide temporary structural shoring as needed.
  - B- Contractor shall comply with federal/ state and local codes regarding removal and disposal of hazardous materials.
  - C- Contractor to patch and match where disturb areas.
- LEGEND:**
- Wall/ partitions and covers designated for removal and disposal.
  - ==== Exist wall/ partition to remain.
  - ◇ Remove and dispose door, frame, hardware and related materials.
  - ◇ Remove and dispose window, frame, hardware and related materials.
  - ◇ Remove and dispose partition, provide temporary support as needed.
  - ◇ Remove and dispose floor, truss, stringers, hand-rail, guard-rail and related materials.
  - ◇ Remove and dispose chimney, provide temporary support as needed.
  - ◇ Remove and dispose w/c, siding, sheathing, insulation, studs, CML, and related materials.
  - ◇ Remove and dispose counter top, cabinets, and related materials.
  - ◇ Remove and dispose plumbing fixtures (sinks, cabinets etc., toilet, bath-tub), rough plumbing, and related materials.
  - ◇ Remove and dispose roller, wood post, provide temporary support as needed.
  - ◇ Remove and dispose concrete bats, pi-post, and related materials.

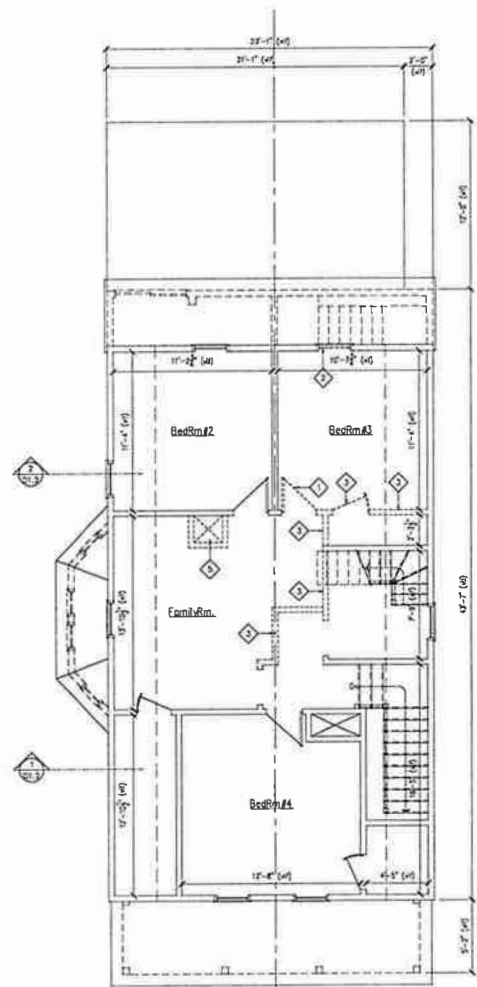
1 EXISTING/ DEMOLITION  
Basement Floor Plan  
D-1 SCALE: 1/4" = 1'-0"



2 EXISTING/ DEMOLITION  
First Floor Plan  
D-1 SCALE: 1/4" = 1'-0"

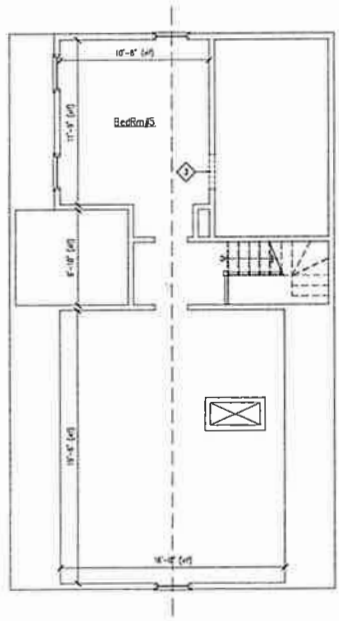
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Revision-1	
Revision-2	

Scale	AS NOTED
Drawn / Check by	AJ/SAN
Date	9/18/23
Job No.	2X



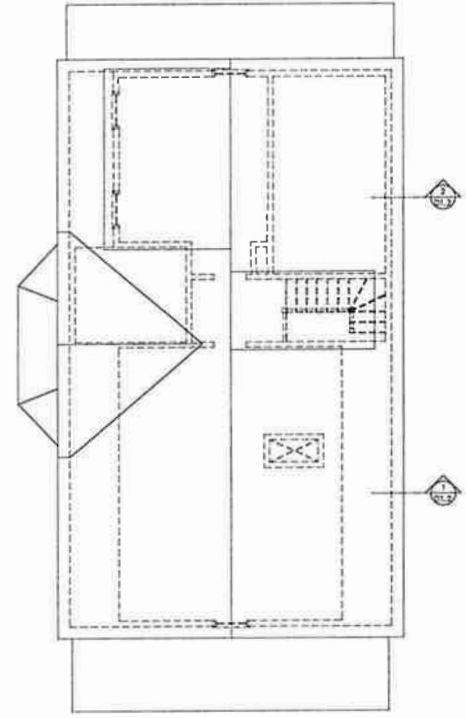
Existing Second Floor  
(915 Sq-Ft +/-)

1 EXISTING/ DEMOLITION  
Second Floor Plan  
D-1.1 SCALE: 1/4" = 1'-0"



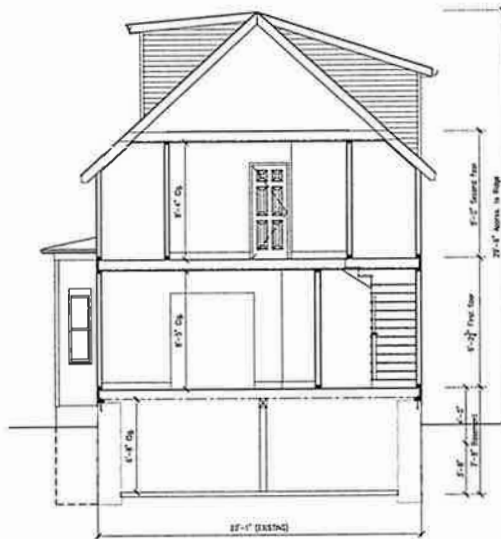
Existing Attic Floor  
(390 Sq-Ft +/-)

2 EXISTING/ DEMOLITION  
Attic Floor Plan  
D-1.1 SCALE: 1/4" = 1'-0"

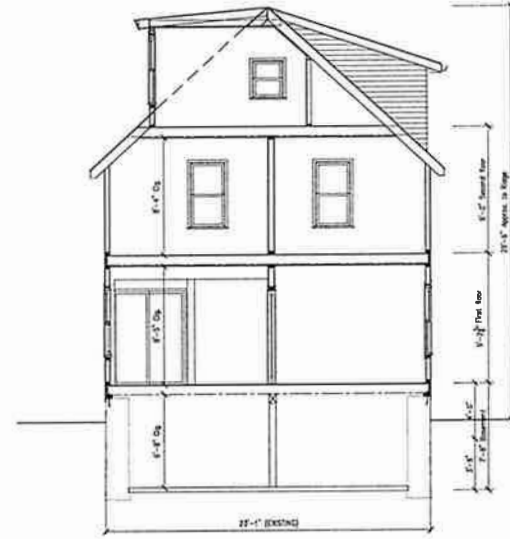


3 EXISTING/ DEMOLITION  
Roof Plan  
D-1.1 SCALE: 1/4" = 1'-0"

- GENERAL DEMOLITION/ REMOVAL NOTES (TYP)**
- A- Contractor shall provide temporary structural shoring as needed.
  - B- Contractor shall comply with federal/ state and local codes regarding removal and dispose of hazardous waste.
  - C- Contractor to patch and match where status areas.
- LEGEND:**
- Wall/ partition and areas designated for removal and discard
  - Wall/ partition to remain
  - ◇ Remove and dispose door, frame, hardware and related materials.
  - ◇ Remove and dispose window, frame, hardware and related materials.
  - ◇ Remove and dispose partitions, provide temporary support as needed.
  - ◇ Remove and dispose floors, trims, skirting, hand-rail, guard-rail and related materials.
  - ◇ Remove and dispose chimney, provide temporary support as needed.
  - ◇ Remove and dispose w/c, ceiling, sheathing, insulation, studs, OSB, and related materials.
  - ◇ Remove and dispose counter top, cabinets, and related materials.
  - ◇ Remove and dispose plumbing fixtures (sinks, cabinets, tubs, toilet, bath-tub), rough plumbing, and related materials.
  - ◇ Remove and dispose rotter, wood post, provide temporary support as needed.
  - ◇ Remove and dispose concrete slab, st-paint, and related materials.



● Living Room  
 1 Building Cross Section  
 D-1 SCALE: 1/4" = 1'-0"



● Kitchen Area  
 2 Building Cross Section  
 D-1 SCALE: 1/4" = 1'-0"

PROJECT  
Interior Renovation

18 Birch Street  
Worcester, MA

Existing/ Demolition Building Sections

Revision	Date
Revision-1	
Revision-2	

Scale AS NOTED  
 Drawn / Check by JUBAN  
 Date 5/15/22  
 Job No. 20

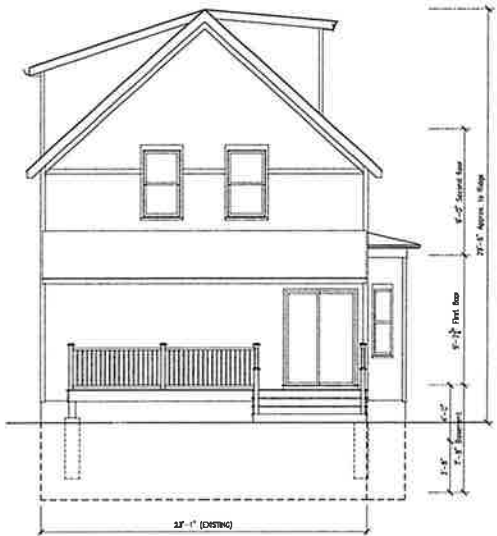
D-1.2



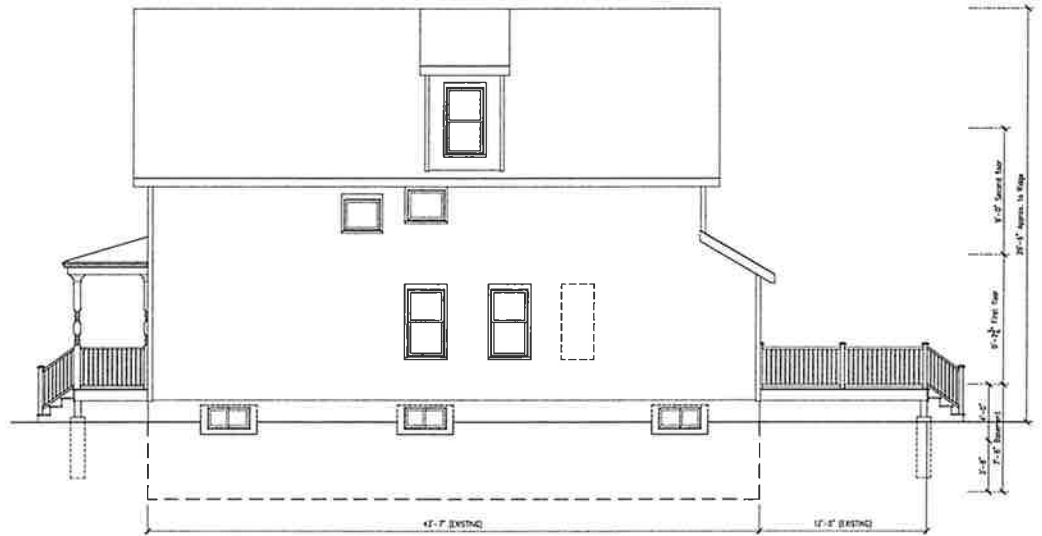
1 Exterior Elevation (FRONT)  
A-2 SCALE: 1/4" = 1'-0"



2 Exterior Elevation (LEFT)  
A-2 SCALE: 1/4" = 1'-0"



1 Exterior Elevation (FRONT)  
A-2 SCALE: 1/4" = 1'-0"

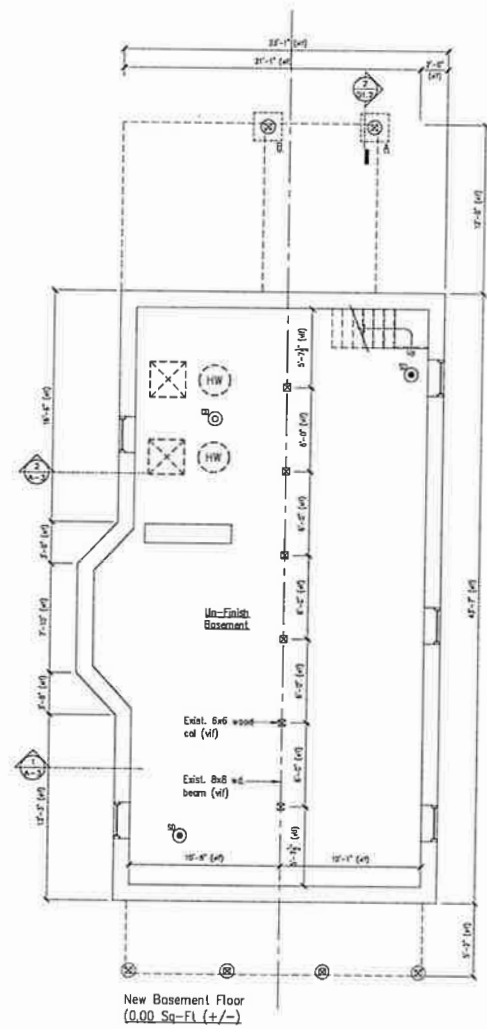


2 Exterior Elevation (RIGHT)  
A-2 SCALE: 1/4" = 1'-0"

Revisions	Date
Revision-1	
Revision-2	

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Drawn / Check by	JLBAN
Date	01/18/23
Job No.	XX

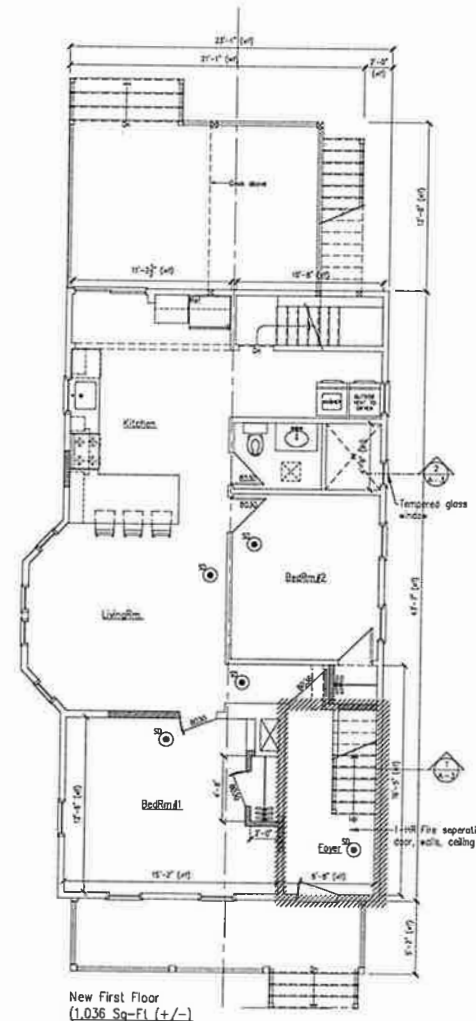




New Basement Floor  
0,00 Sq-Ft (+/-)

**LEGEND/NOTES:**  
 - Existing walls/partition  
 - New walls/partition  
 - New doors  
 - New windows

EXISTING PLAN TO REMAIN  
**1** Basement Floor Plan  
 A-1 SCALE: 1/4" = 1'-0"



New First Floor  
1,036 Sq-Ft (+/-)

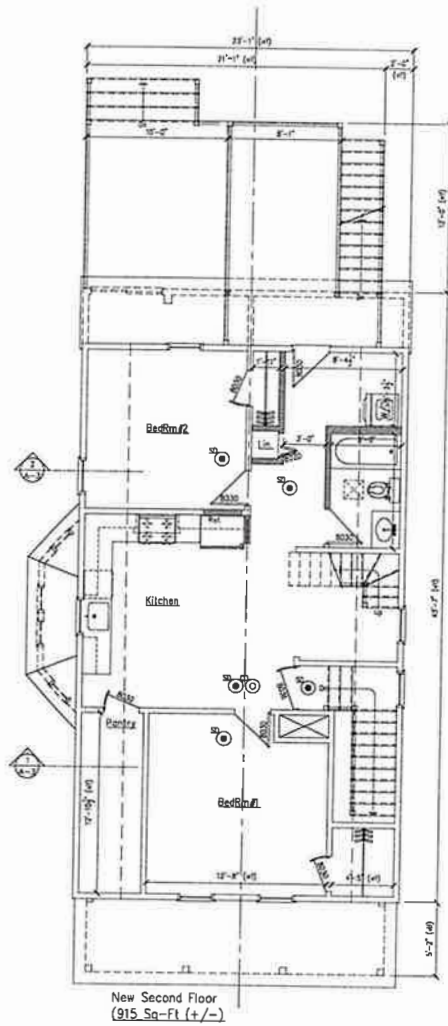
**2** First Floor Plan  
 A-1 SCALE: 1/4" = 1'-0"

Floor Plans, and  
Door Schedule

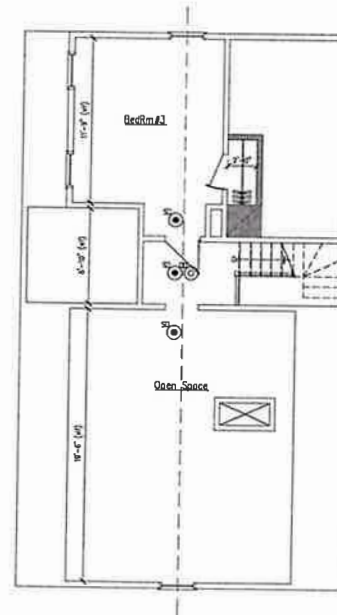
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Revision-2	

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 Date: 8/19/23  
 Job No: XX

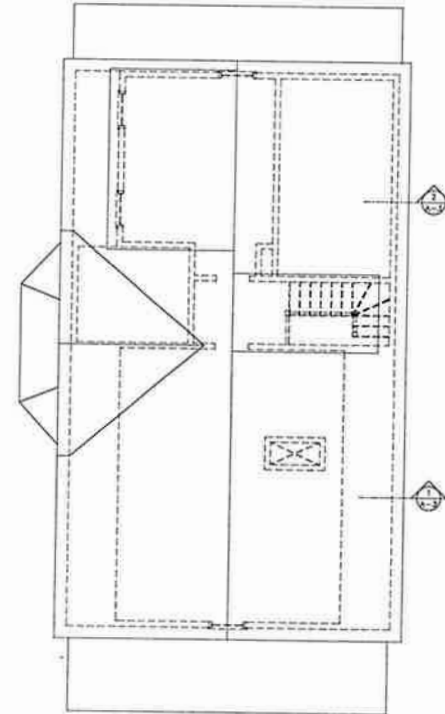
**A-1**



① Second Floor Plan  
A-1.1 SCALE: 1/4" = 1'-0"



② Attic Floor Plan  
A-1.1 SCALE: 1/4" = 1'-0"



**LEGEND / NOTES:**

	Existing walls/partition
	New walls/partition
	New exterior walls
	Other walls

Floor Plans, and Door Schedule

Revision	Date
Revision-1	
Revision-2	

Scale: AS NOTED  
Drawn / Check by: J.S.BAN  
Date: 8/18/23  
Job No.: 202

A-1.1



1 Exterior Elevation (FRONT)  
A-2 SCALE: 1/4" = 1'-0"



2 Exterior Elevation (LEFT)  
A-2 SCALE: 1/4" = 1'-0"



1 Exterior Elevation (FRONT)  
A-2 SCALE: 1/4" = 1'-0"



2 Exterior Elevation (LEFT)  
A-2 SCALE: 1/4" = 1'-0"

Existing/ Demolition Plans,  
and Demo. Notes

Revisions	Date
Revision-1	
Revision-2	

Scale	AS NOTED
Drawn / Check by	J.SBAN
Date	01/02/23
Job No.	XX

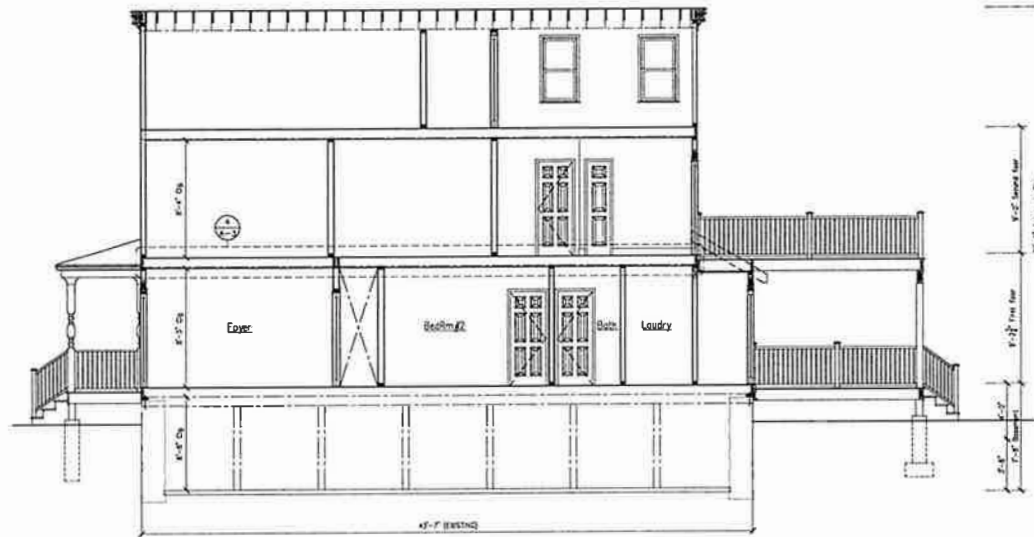




1 Living Room  
 Building Cross Section  
 SCALE: 1/4" = 1'-0"



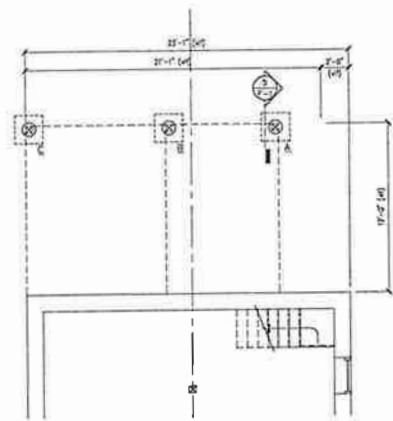
2 Kitchen Area  
 Building Cross Section  
 SCALE: 1/4" = 1'-0"



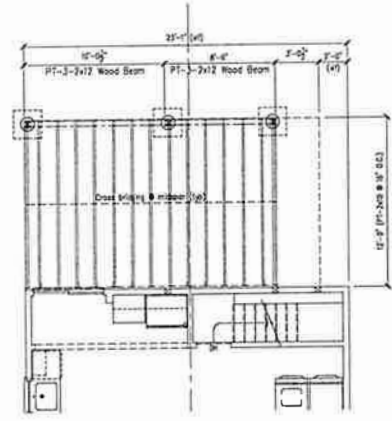
3 Building Longitudinal Section  
 SCALE: 1/4" = 1'-0"

Revision	Date
Revision-1	
Revision-2	

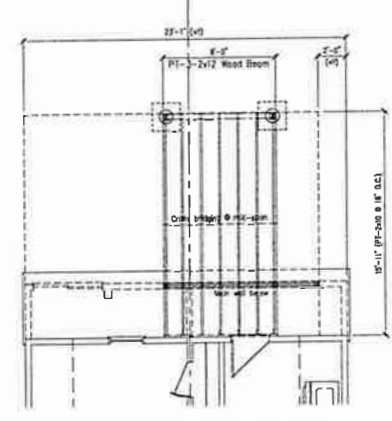
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Date	01/18/22
Job No.	XX



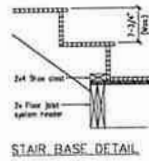
1 Partial Footing Plan  
F-1 SCALE: 1/4" = 1'-0"



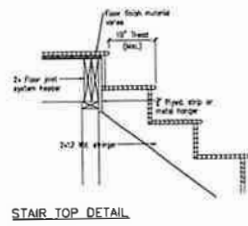
2 Partial First Deck Framing Plan  
F-1 SCALE: 1/4" = 1'-0"



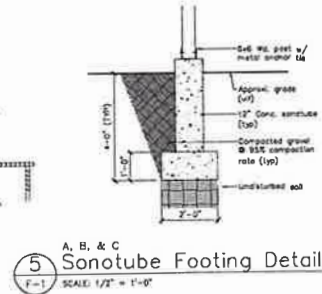
3 Partial Second Deck Framing Plan  
F-1 SCALE: 1/4" = 1'-0"



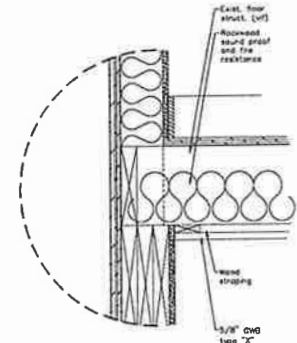
STAIR BASE DETAIL



STAIR TOP DETAIL



A, B, & C  
5 Sonotube Footing Detail  
F-1 SCALE: 1/2" = 1'-0"



4 Fire Separation Detail  
A-3 SCALE: 1/8" = 1'-0"

Partial Framing Plans, and Details

Revision	Date
Revision-1	
Revision-2	

Scale AS NOTED  
Drawn / Check by JUBAN  
Date 8/18/23  
Job No. XX

F-1